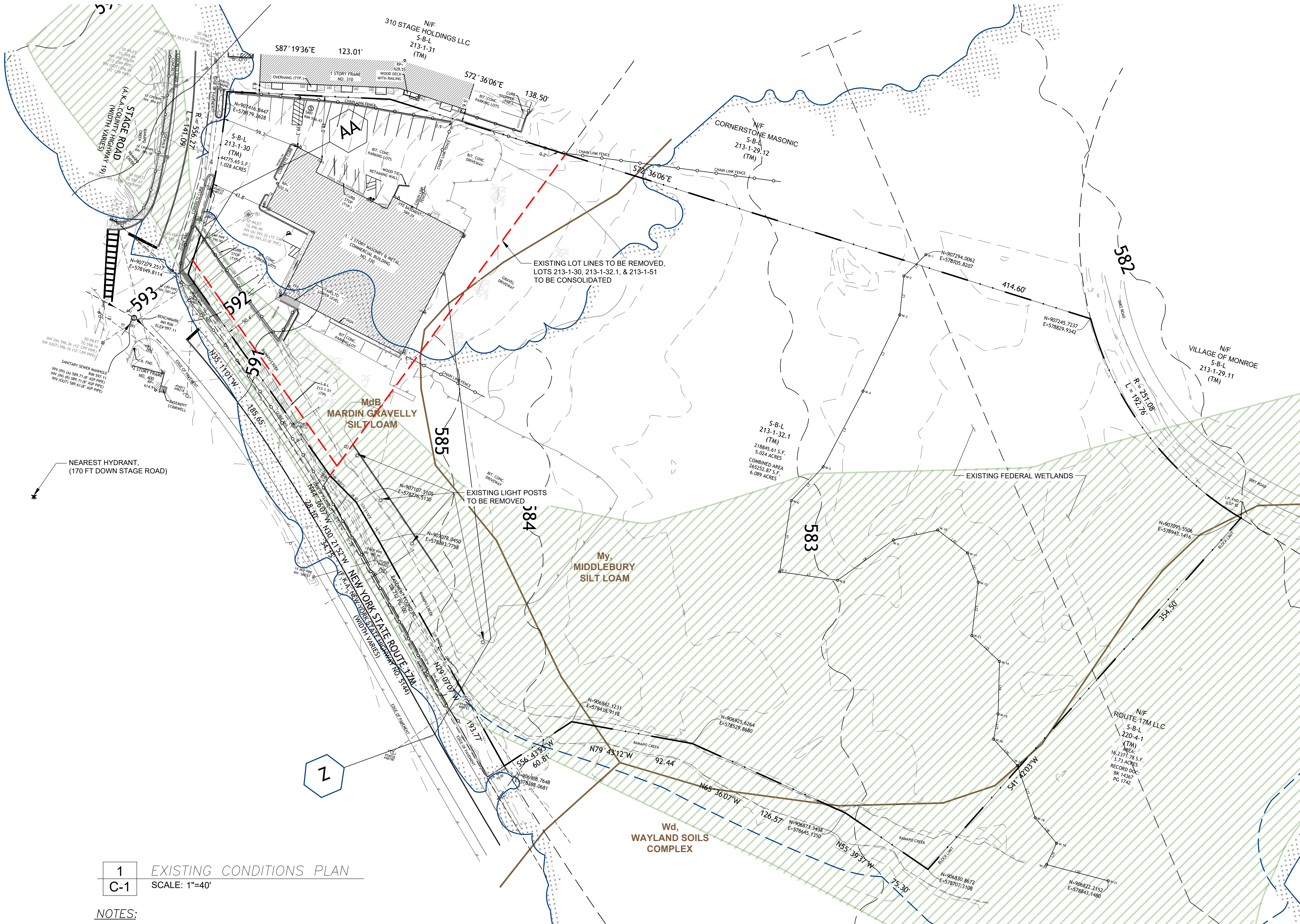
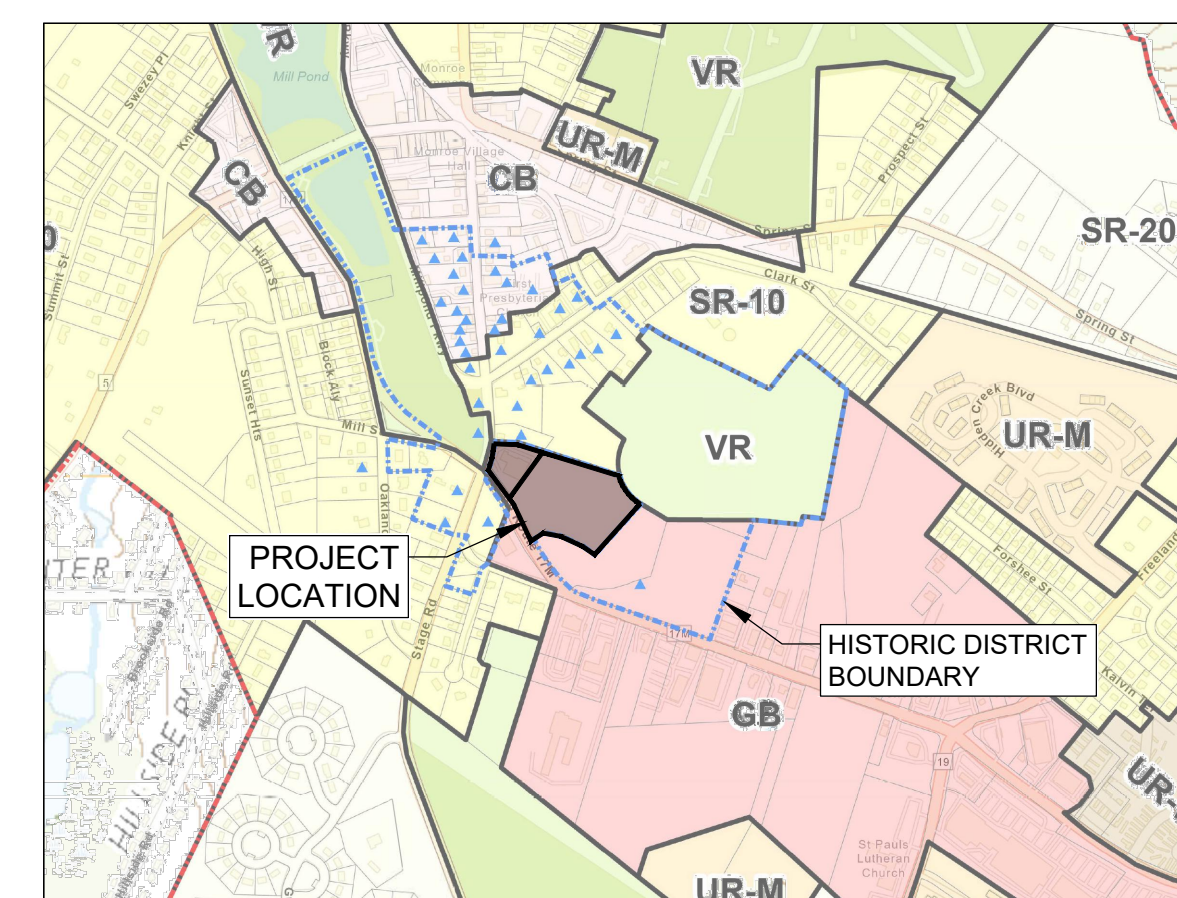




1 EXISTING CONDITIONS PLAN
C-1 SCALE: 1"=40'

- NOTES:
- LOT OWNER: STAGE DEVELOPMENT LLC, JOEL WEISS
 - OWNER ADDRESS: 577 FLUSHING AVE #2L BROOKLYN, NY 11206
 - LOT ID: 213-1-30, 213-1-32.1, & 213-1-51
 - LOT AREA: 265,252 SF / 6.09 Ac.
 - ZONING DISTRICT: GB GENERAL BUSINESS

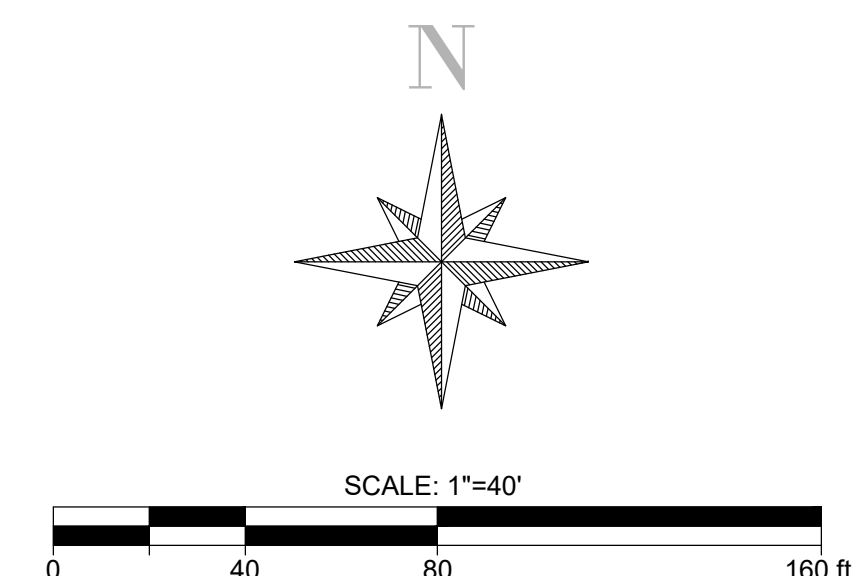
LIST OF SHEETS	
SHEET NO.	TITLE
C-1	EXISTING CONDITIONS PLAN
C-1.1	CONSTRAINED LANDS PLAN
C-2	SITE PLAN
C-3	LIGHTING & LANDSCAPING PLAN
C-4	BUS MANUEVERING PLAN
C-4.1	TRUCK LOADING MANUEVERING PLAN
C-5	CONSTRUCTION DETAILS



2 VICINITY MAP
C-1 SCALE: 1"=1000'

- REFERENCES:
- THIS PLAN IS BASED ON A SURVEY BY CLEARPOINT SERVICES, JOHN W. McCORD, SR., P.L.S. DATED APRIL 5, 2024.
 - VILLAGE OF MONROE ZONING MAP BY NELSON POPE VOORHIS, LAST REVISED NOVEMBER 10, 2023.
 - USDA NRCS WEB SOIL SURVEY, ORANGE COUNTY, NY, 2025
- SURVEYOR'S NOTES:
- OFFSETS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OF PERMANENT STRUCTURES I.E. BUILDINGS, SHEDS, FENCES, ETC.
 - SUBJECT TO EASEMENTS & RESTRICTIONS OF RECORD, IF ANY.
 - HORIZONTAL DATUM IS NAD83, NY-EAST AND VERTICAL DATUM IS NAVD88.

- LEGEND:
- AIRCONDITIONING UNIT
 - SANITARY SEWER MANHOLE
 - GAS VALVE
 - WATER VALVE
 - SECURITY CAMERA
 - UNDERGROUND LEEDER
 - SIGN
 - VENT PIPE
 - LIGHT WALL MOUNT
 - BOLLARD
 - GAS METER
 - ABOVEGROUND LEEDER
 - INLET
 - PVC PIPE
 - UTILITY POLE
 - ELECTRIC METER
 - TRAFFIC LIGHT
 - LIGHT POLE
 - YARD INLET
 - GUY WIRE
 - ELECTRIC BOX
 - DOT VAULT
 - CONCRETE PAVING
 - STONE/GRAVEL
 - EDGE OF BITUMINOUS CONCRETE PAVING
 - ELECTRIC MARKOUT
 - STREAM
 - FENCE LINE
 - GAS LINE MARKOUT
 - OVERHEAD WIRE
 - FLOOD HAZARD
 - WALL
 - SHADED X FLOOD HAZARD
 - FLOOD WAY FLOOD HAZARD



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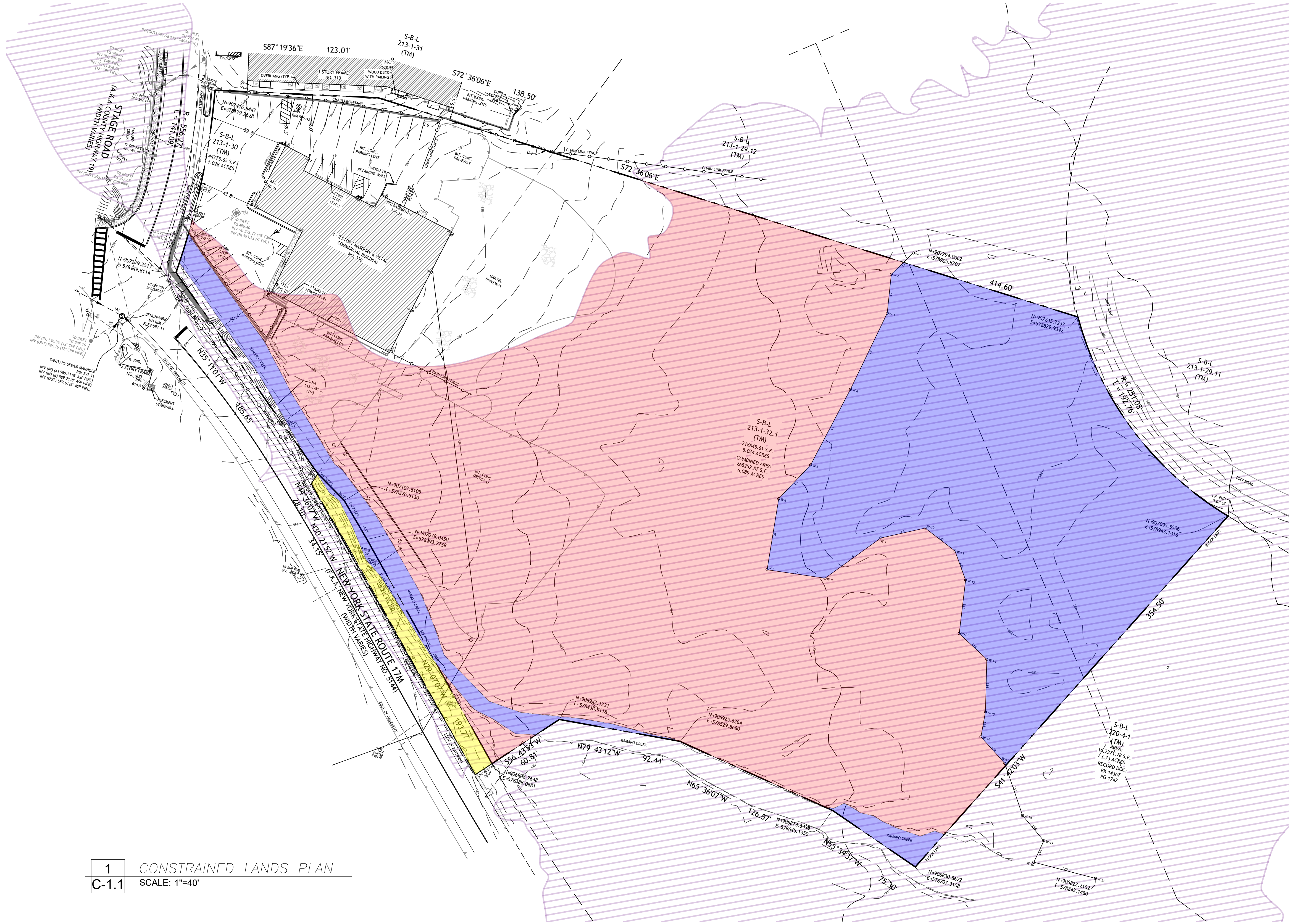
NOTE
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SIGNATURE MUST
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CONSTRUCTION

EXISTING CONDITIONS PLAN	
SHEET TITLE:	330 STAGE ROAD MIXED USE BUILDING
PROJECT:	330 STAGE ROAD MONROE, NY 10950
CLIENT:	VILLAGE OF MONROE, SBL: 213-1-30, -32.1, 220-4-1 STAGE DEVELOPMENT LLC 577 FLUSHING AVE #2L BROOKLYN, NY 11206

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	01/24/2024

SHEET No.
C-1
PAGE 1 OF 7

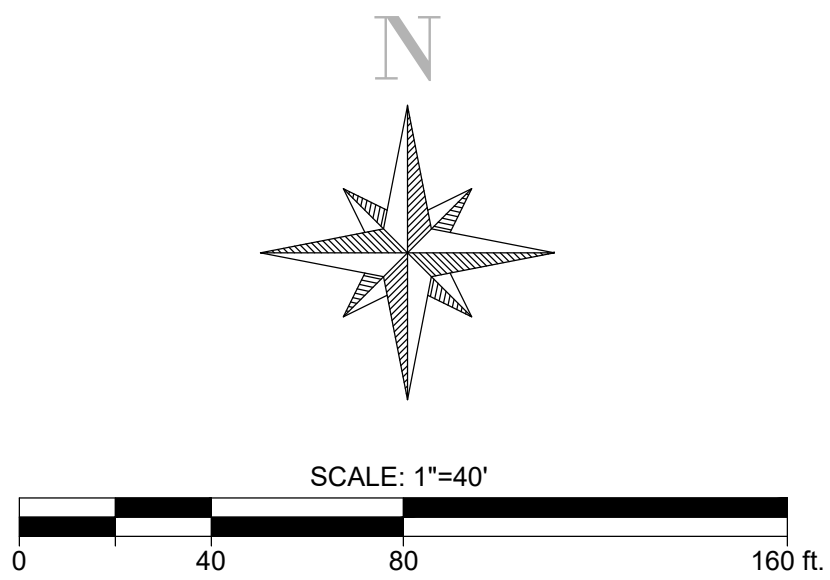


1 CONstrained LANDS PLAN
C-1.1 SCALE: 1"=40'

NOTES:
1. WETLANDS FLAGGED BY JAMES BATES, CPESC, CPSWQ, ECOLOGICAL ANALYSIS, LLC, ON AUGUST 15, 2024.

REFERENCES:
1. THIS PLAN IS BASED ON A SURVEY BY CLEARPOINT SERVICES, JOHN W. McCORD, SR., P.L.S. DATED APRIL 5, 2024.

CONSTRAINED LANDS SCHEDULE			
	GROSS AREA (SF)	DEDUCTABLE AREA (SF)	DEDUCTION (SF)
GROSS LOT AREA (SF)	269,086.9	-	-
WETLANDS / WATERBODIES (SF)	70,288.8	70,288.8	70,288.8 (100%)
STEEP SLOPES >25% (SF)	-	-	0.0 (50%)
100-YEAR FLOOD AREA (SF)	218,880.6	145,498.8	72,749.4 (50%)
EASEMENT AREA (SF)	3,712.8	3092.5	1546.3 (50%)
NET LOT AREA (SF)	-	-	124,502.5



REVISION

PLANNING BOARD SUBMISSION	01/29/2024
PLANNING BOARD SUBMISSION	04/23/2024
PLANNING BOARD SUBMISSION	06/24/2024
PLANNING BOARD SUBMISSION	08/26/2024
PLANNING BOARD SUBMISSION	10/28/2024
PLANNING BOARD SUBMISSION	12/30/2024
PLANNING BOARD SUBMISSION	01/31/2025
PLANNING BOARD SUBMISSION	03/27/2025
PLANNING BOARD SUBMISSION	04/28/2025

DATE

NO.

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SHEET TITLE:

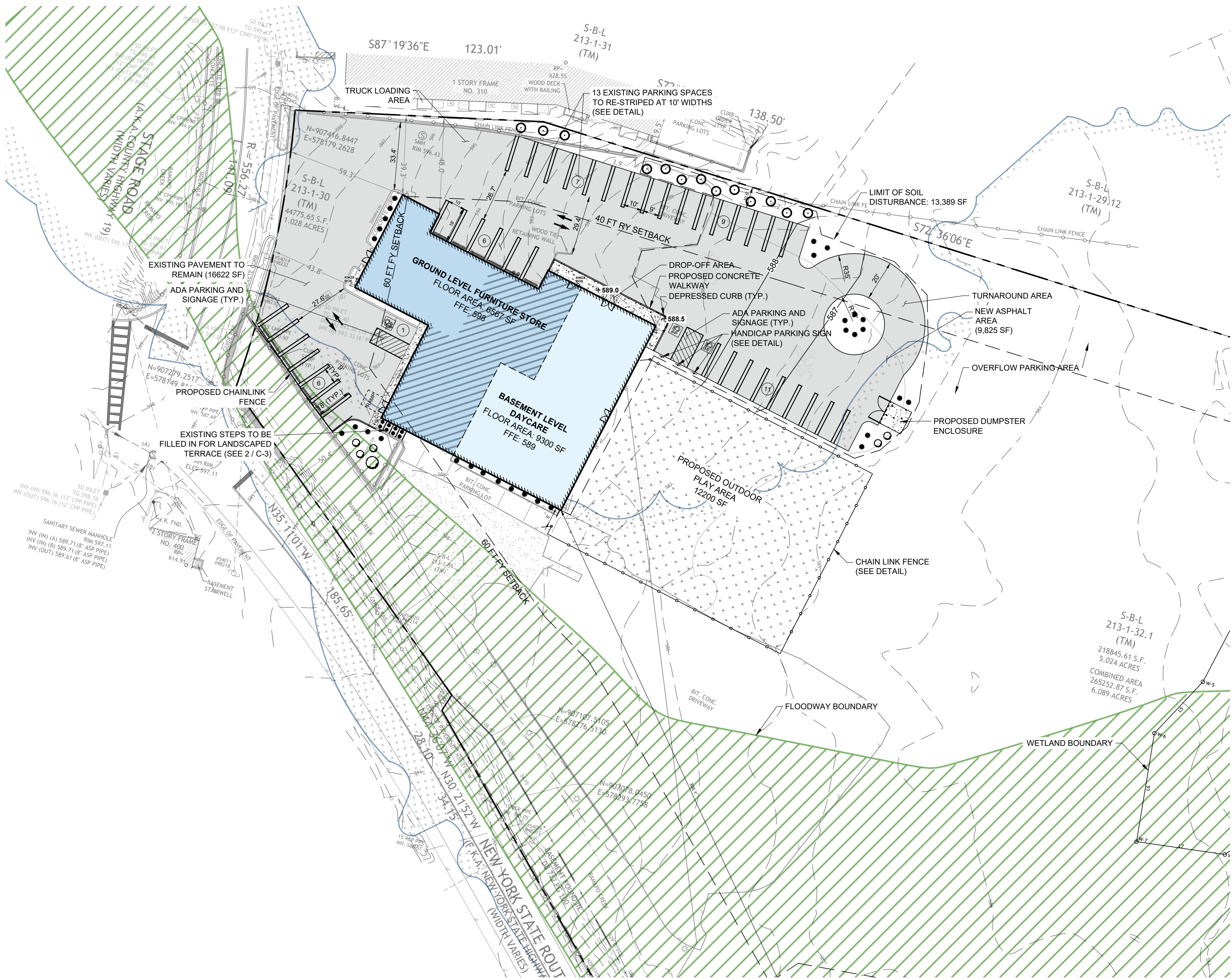
330 STAGE ROAD MIXED USE BUILDING
330 STAGE ROAD
MONROE, NY 10950
VILLAGE OF MONROE, SBL: 213-1-30, -32.1, 220-4-1

PROJECT:

STAGE DEVELOPMENT LLC
577 FLUSHING AVE #2L
BROOKLYN, NY 11206

CLIENT:

SCALE:
DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 01/24/2024



1 SITE PLAN
C-2 SCALE: 1"=30'

NOTES:

- OWNER PROPOSES TO USE THE EXISTING BUILDING AS A MIXED USE COMMERCIAL BUILDING WITH SPACE FOR TWO (2) TENANTS. PROPOSED USES INCLUDE A FURNITURE STORE AND A DAYCARE. PARKING AREA TO BE EXPANDED TO ACCOMMODATE THE PROPOSED USES.
- DAY CARE USE FOR 122 CHILDREN, 3 YEARS OF AGE OR LESS.
- FURNITURE STORE HOURS OF OPERATION: 10:30 - 6:30 PM
- DAY CARE HOURS OF OPERATION: 9:30 AM TO 4:00 PM
- NO DISTURBANCE SHALL BE MADE TO EXISTING WETLANDS.

REFERENCES:

- THIS PLAN IS BASED ON A SURVEY BY CLEARPOINT SERVICES, JOHN W. McCORD, SR., P.L.S. DATED APRIL 5, 2024.

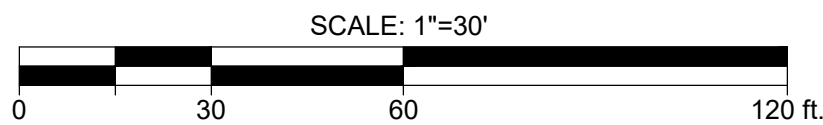
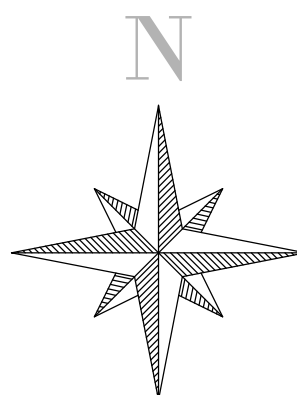
DAYCARE NOTES:

- THERE SHALL BE NO MORE THAN ONE DAY-CARE CENTER PER LOT.
- THE LIMITS OF ANY OUTDOOR PLAY AREA OR RECREATION AREA SHALL NOT EXTEND CLOSER THAN 20 FEET TO ANY RESIDENTIAL PROPERTY LINE.
- ALL DAY-CARE CENTERS SHALL HAVE AN ACTIVE OUTDOOR PLAY AREA OF 100 SQUARE FEET PER CHILD.
- OUTDOOR PLAY AREAS SHALL BE APPROPRIATELY FENCED OR OTHERWISE PROTECTED FROM ROADS AND NEARBY PROPERTIES.
- OFF-STREET PARKING AND LOADING SHALL COMPLY WITH THE PROVISIONS ARTICLE XI.
- THE OPERATOR SHALL HAVE A VALID LICENSE FROM NEW YORK STATE.
- THE DAY-CARE CENTER SHALL COMPLY WITH ALL APPLICABLE CONDITIONS AND LIMITATIONS OF THE NEW YORK STATE DEPARTMENT OF SOCIAL SERVICES RELATED TO THE OPERATION AND LICENSING OF DAY-CARE CENTERS AND SHALL HAVE ALL REQUIRED LICENSES AND CERTIFICATES.

ZONING TABLE			
SECTION, LOT, BLOCK:	213-1-30, 213-1-32.1, 213-1-51		
ZONE:	GB (GENERAL BUSINESS) DISTRICT		
PROPOSED USE:	FURNITURE STORE, DAYCARE		
MINIMUMS REQUIRED			
	REQUIRED	EXISTING	PROPOSED
GROSS LOT AREA (SF)	40,000 (0.92 Ac.)	44,775.65 (1.03 Ac.)	265,252.87 (6.09 Ac.)
NET LOT AREA (SF)	40,000 (0.92 Ac.)	-	124,502.5 (2.86 Ac.)
LOT WIDTH (FT)	50	141.09	NO CHANGE
FRONT SETBACK (FT)	60	43.8 (E)	NO CHANGE
REAR SETBACK (FT)	40	39.3 (E)	NO CHANGE
SIDE SETBACK (ONE / TOTAL FT)	50 / 80	10.5 (E)	305
MAXIMUMS PERMITTED			
LOT COVERAGE (%)	25%	25.7% (11767 SF) (E)	NO CHANGE
BUILDING HEIGHT (FT / STORIES)	35 / 2	< 35 / 2	NO CHANGE

(E) - EXISTING NON-CONFORMITY
(V) - VARIANCE REQUESTED

OFF-STREET PARKING REQUIRMENTS			
USE	REQUIREMENT	REQUIRED	PROPOSED
FURNITURE STORE	1.22 / 1000 SF GLA	8 (6567 SF)	8
DAY CARE	1.22 / EMPLOYEE	32 (26 EMPLOYEES)	32
TOTAL		40	40



REVISION	DATE	BY
PLANING BOARD SUBMISSION	01/29/2024	DAVID NIEMOTKO
BOARD SUBMISSION	02/23/2024	DAVID NIEMOTKO
PLANING BOARD SUBMISSION	06/24/2024	DAVID NIEMOTKO
BOARD SUBMISSION	08/29/2024	DAVID NIEMOTKO
PLANING BOARD SUBMISSION	09/30/2024	DAVID NIEMOTKO
BOARD SUBMISSION	10/28/2024	DAVID NIEMOTKO
PLANING BOARD SUBMISSION	12/30/2024	DAVID NIEMOTKO
BOARD SUBMISSION	01/23/2025	DAVID NIEMOTKO
PLANING BOARD SUBMISSION	03/27/2025	DAVID NIEMOTKO
BOARD SUBMISSION	04/28/2025	DAVID NIEMOTKO



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SHEET TITLE:	SITE PLAN
PROJECT:	330 STAGE ROAD MIXED USE BUILDING MONROE, NY 10950
CLIENT:	VILLAGE OF MONROE, SBL: 213-1-30, -32.1, 220-4-1 STAGE DEVELOPMENT LLC 577 FLUSHING AVE #2L BROOKLYN, NY 11206

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	01/24/2024

SHEET No.

C-2

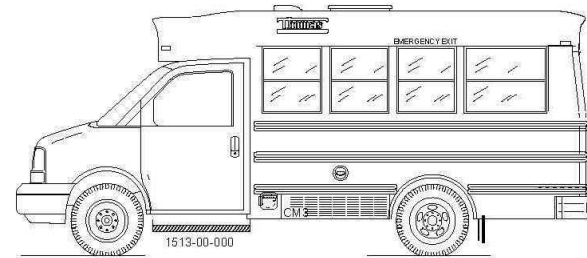


1 VEHICLE MANUEVERING PLAN
C-4 SCALE: 1"=30'

NOTES:
DESIGN VEHICLES: THOMAS BUILT BUS SAF T LINER
TRUCK LOADING SCHEDULE:
1. SO AS NOT TO INTERFERE WITH DAYCARE BUS OPERATIONS, FURNITURE STORE DELIVERIES ARE PROHIBITED DURING THE ARRIVAL / DISMISSAL PERIODS OF 8:30 AM TO 10:30 AM, AND 3:30 PM TO 4:30 PM.

REFERENCES:
1. THIS PLAN IS BASED ON A SURVEY BY CLEARPOINT SERVICES, JOHN W. McCORD, SR., P.L.S. DATED APRIL 5, 2024.

VEHICLE TEMPLATES



Thomas Built School Bus SAF T Liner EF 0908
Overall Length 27.119ft
Overall Width 8.000ft
Overall Body Height 10.119ft
Min Body Ground Clearance 1.066ft
Track Width 8.000ft
Lock-to-lock time 6.00s
Wall to Wall Turning Radius 26.000ft

REVISION	DATE	BY
PLANNING BOARD SUBMISSION	01/29/2024	1
PLANNING BOARD SUBMISSION	04/23/2024	2
PLANNING BOARD SUBMISSION	06/24/2024	3
PLANNING BOARD SUBMISSION	08/26/2024	4
PLANNING BOARD SUBMISSION	09/30/2024	5
PLANNING BOARD SUBMISSION	10/28/2024	6
PLANNING BOARD SUBMISSION	12/30/2024	7
PLANNING BOARD SUBMISSION	01/31/2025	8
PLANNING BOARD SUBMISSION	03/27/2025	9
PLANNING BOARD SUBMISSION	04/28/2025	10

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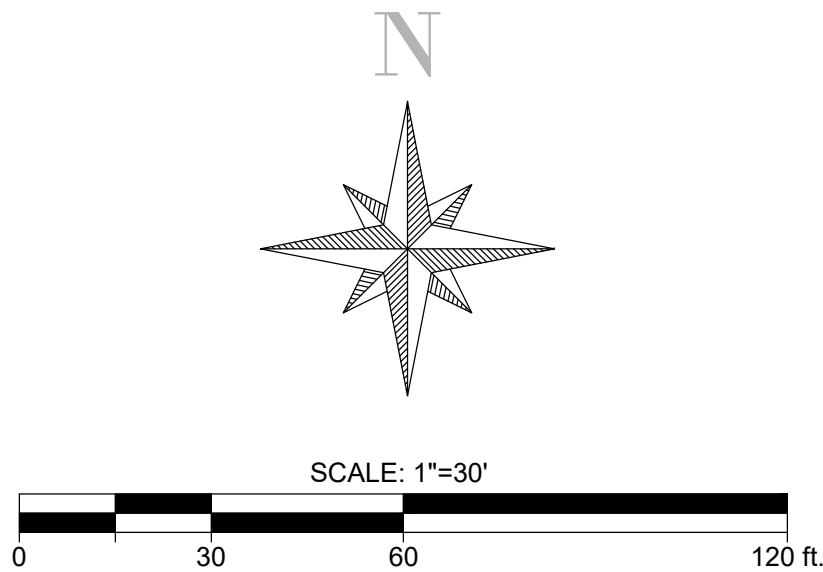
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SHEET TITLE:	BUS MANUEVERING PLAN
PROJECT:	330 STAGE ROAD MIXED USE BUILDING MONROE, NY 10950
CLIENT:	VILLAGE OF MONROE, SBL: 213-1-30, -32.1, 220-4-1 STAGE DEVELOPMENT LLC 577 FLUSHING AVE #2L BROOKLYN, NY 11206

SCALE:	
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CHECKED BY:	D.N.
JOB #	
PLOT DATE:	01/24/2024

SHEET No.
C-4
PAGE 5 OF 7



RIGHT TURN ENTRY RIGHT TURN EXIT

1 TRUCK LOADING MANUEVERING PLAN
C-4.1 SCALE: 1"=30'

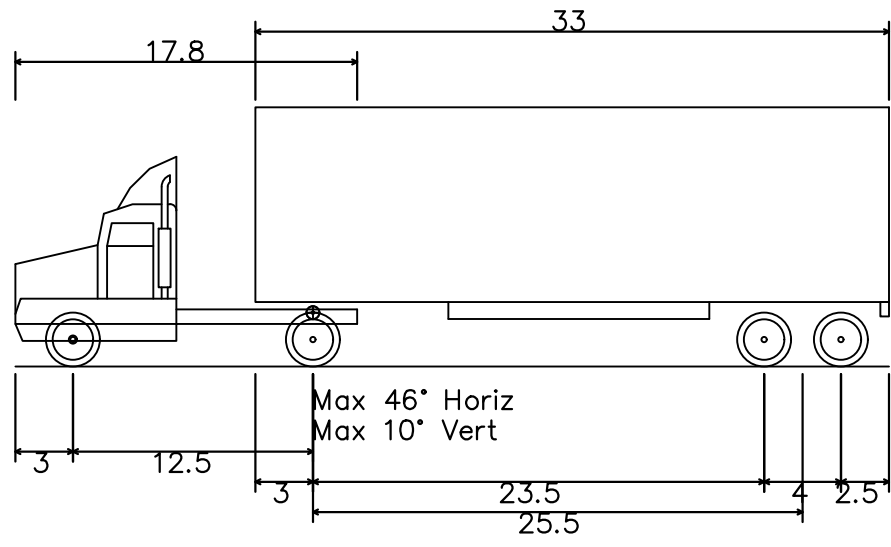
NOTES:

- DESIGN VEHICLES: US DESIGN VEHICLES, WB-40 TRUCK
TRUCK LOADING SCHEDULE:
1. SO AS NOT TO INTERFERE WITH DAYCARE BUS OPERATIONS, FURNITURE STORE DELIVERIES ARE PROHIBITED DURIN GTHE ARRIVAL / DISMISSAL PERIODS OF 8:30 AM TO 10:30 AM, AND 3:30 PM TO 4:30 PM.

REFERENCES:

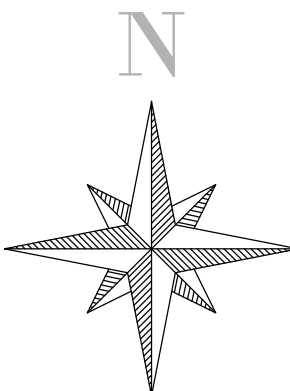
1. THIS PLAN IS BASED ON A SURVEY BY CLEARPOINT SERVICES, JOHN W. McCORD, SR., P.L.S. DATED APRIL 5, 2024.

VEHICLE TEMPLATES



WB-40 - Intermediate Semi-Trailer
Overall Length 45.499ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.334ft
Track Width 8.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 20.30°

LEFT TURN ENTRY LEFT TURN EXIT



SCALE: 1"=30'
0 30 60 120 ft.

REVISION	DATE	BY
PLANNING BOARD SUBMISSION	01/29/2024	2
PLANNING BOARD SUBMISSION	04/23/2024	3
PLANNING BOARD SUBMISSION	06/24/2024	4
PLANNING BOARD SUBMISSION	08/26/2024	5
PLANNING BOARD SUBMISSION	09/30/2024	6
PLANNING BOARD SUBMISSION	10/28/2024	7
PLANNING BOARD SUBMISSION	12/30/2024	8
PLANNING BOARD SUBMISSION	01/30/2025	9
PLANNING BOARD SUBMISSION	03/27/2025	10
PLANNING BOARD SUBMISSION	04/28/2025	11
PLANNING BOARD SUBMISSION	04/28/2025	12

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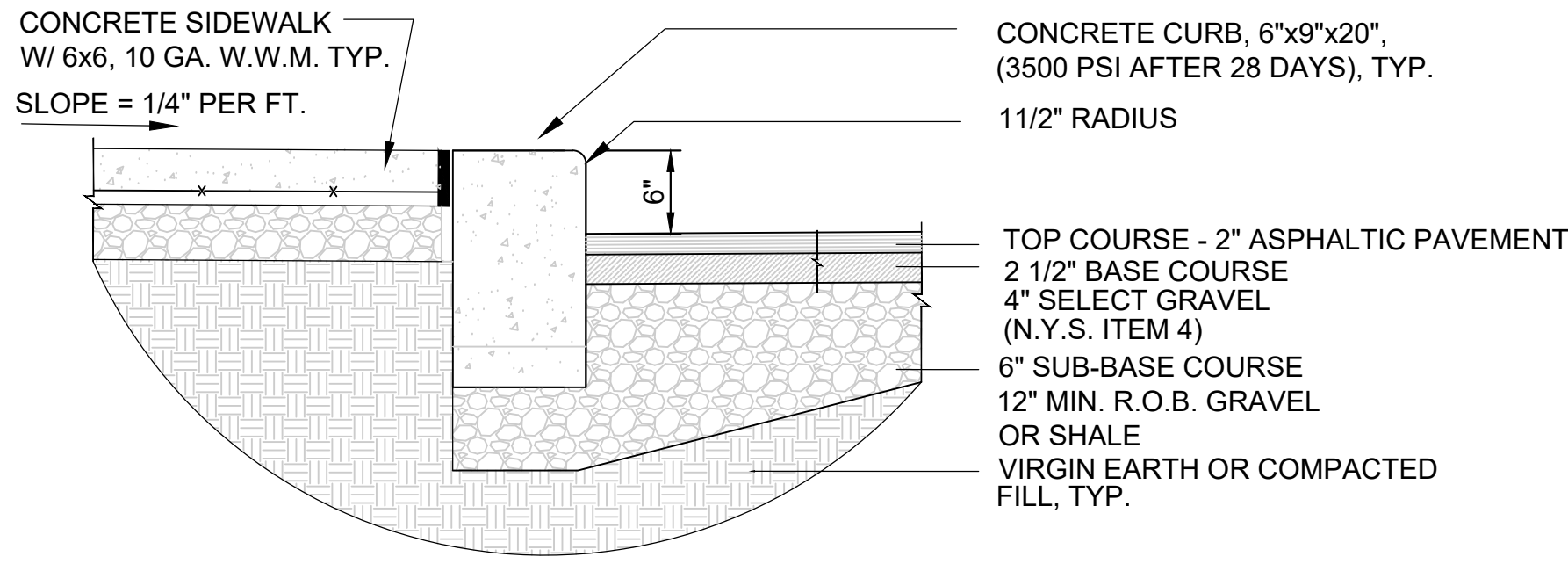
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SHEET TITLE	TRUCK LOADING MANUEVERING PLAN
PROJECT	330 STAGE ROAD MIXED USE BUILDING 330 STAGE ROAD MONROE, NY 10950
CLIENT	VILLAGE OF MONROE, SBL: 213-1-30, -32.1, 220-4-1 STAGE DEVELOPMENT LLC 577 FLUSHING AVE #2L BROOKLYN, NY 11206

SCALE:	
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JOB #	
PLOT DATE:	01/24/2024

SHEET No.
C-4.1
PAGE 6 OF 7

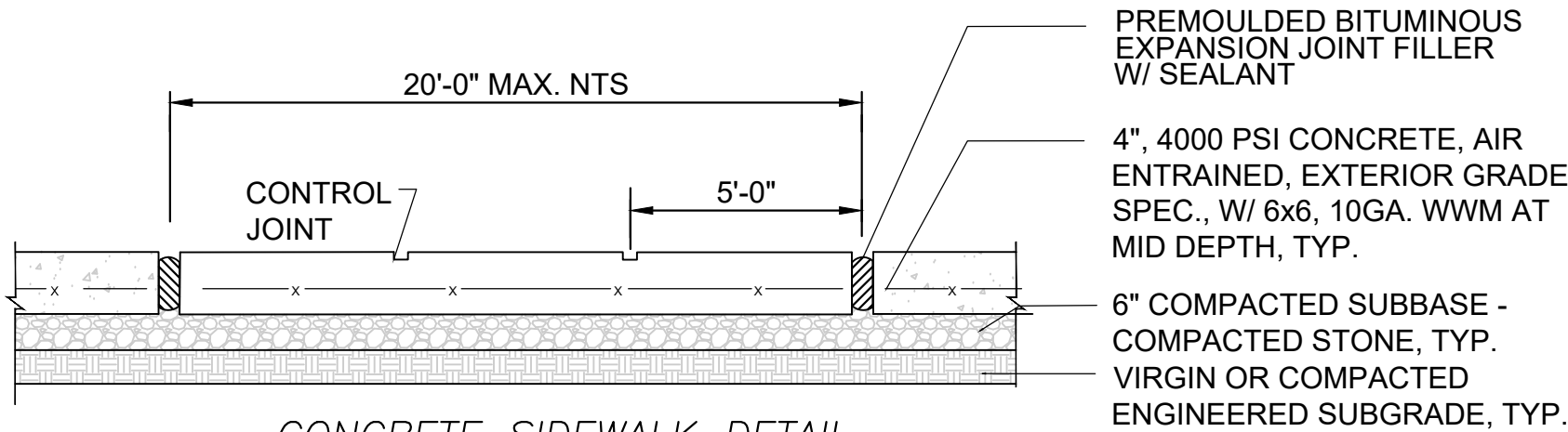


PAVEMENT, CURB & SIDEWALK DETAIL

SCALE: 3/4" = 1'-0"

NOTES:

1. EXPANSION JOINTS CONSISTING OF 1/2" PRE-MOULDED FIBER JOINT FILLER SHALL BE INSTALLED AT 10' INTERVALS IN CURBING AND SIDEWALKS AND AT JOINTS BETWEEN CURB & SIDEWALK AND SIDEWALK & BUILDING.
2. CONSTRUCTION JOINTS SHALL NE INSTALLED 5' O/C.
3. CONCRETE FOR CURBING AND SIDEWALKS SHALL BE 4,000 PSI DESIGN MIX.
4. CURBS TO BE INSTALLED IN 10 FOOT LENGTHS.

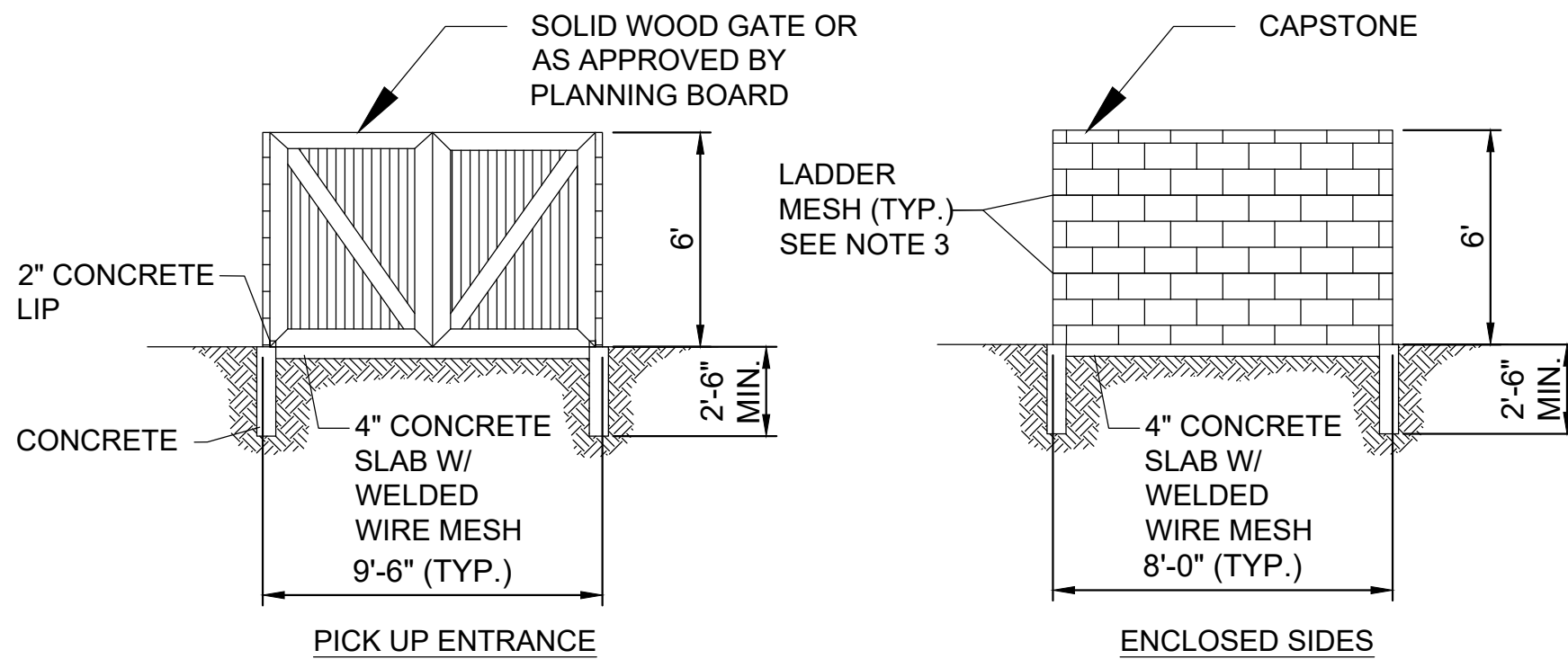


CONCRETE SIDEWALK DETAIL

SCALE: 1/4" = 1'-0"

NOTES:

1. BROOM FINISH SLAB AT 90 DEGREES TO EACH SUCCEEDING SECTION.
2. CONTROL JOINTS TO BE 1 INCH DEEP.
3. JOINT SPACING SHALL BE EQUAL TO WIDTH OF WALK.
4. INSTALL 1/2" PRE-MOLDED EXPANSION JOINT @ 24" O/C AND AT ALL ABUTMENTS TO OTHER STRUCTURES.
5. CONCRETE SHALL BE PORTLAND CEMENT, AIR-ENTRAINED, EXTERIOR DESIGN MIX, WITH AN AIR CONTENT OF 5% TO 7% MAX. AND A SLUMP OF 3" TO 5" MAX.
6. ALL CONCRETE SIDEWALK PLACEMENT SHALL BE INSTALLED IN FULL PANEL LIMITS.
7. EXPANSION JOINTS TO BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINES, AT CURBS AND ALL INTERSECTING ELEMENTS.

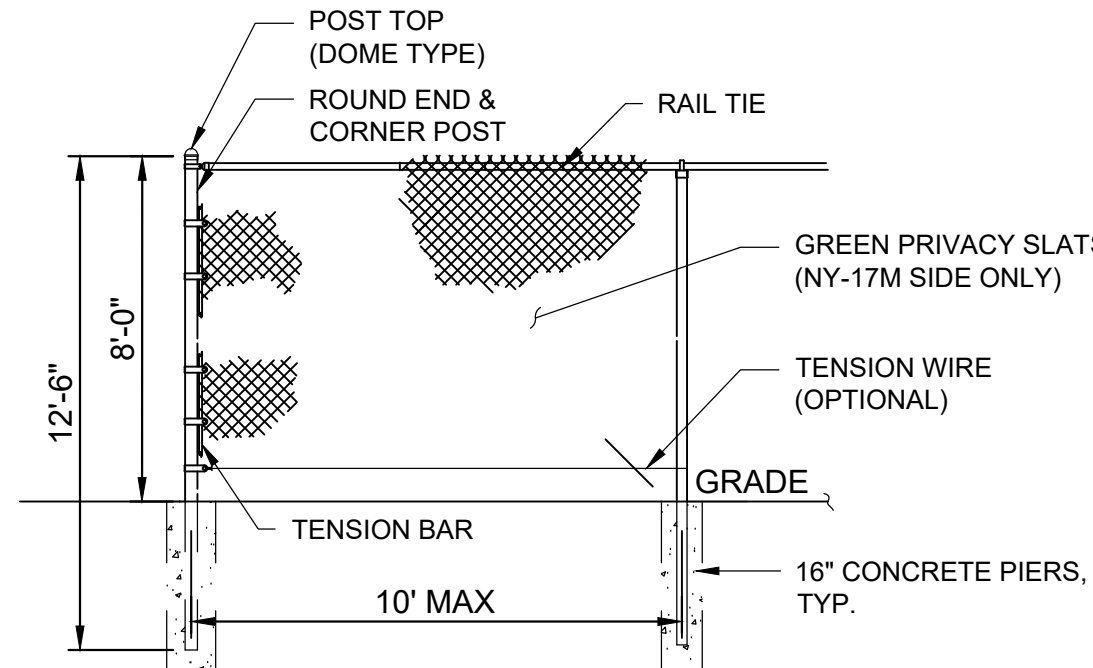


REFUSE STORAGE ENCLOSURE DETAIL

SCALE: NTS

NOTES:

1. REFUSE ENCLOSED TO BE CONSTRUCTED OF 8" SOLID TEXTURED MASONRY BLOCK WITH FACADE TO MATCH PROPOSED BUILDING OR AS APPROVED BY PLANNING BOARD.
2. CONCRETE SLAB TO HAVE 2" RAISED LIP AROUND 3 SIDES.
3. LADDER MESH REINFORCEMENT EVERY 3RD ROW OR AS RECOMMEND BY THE MANUFACTURER.

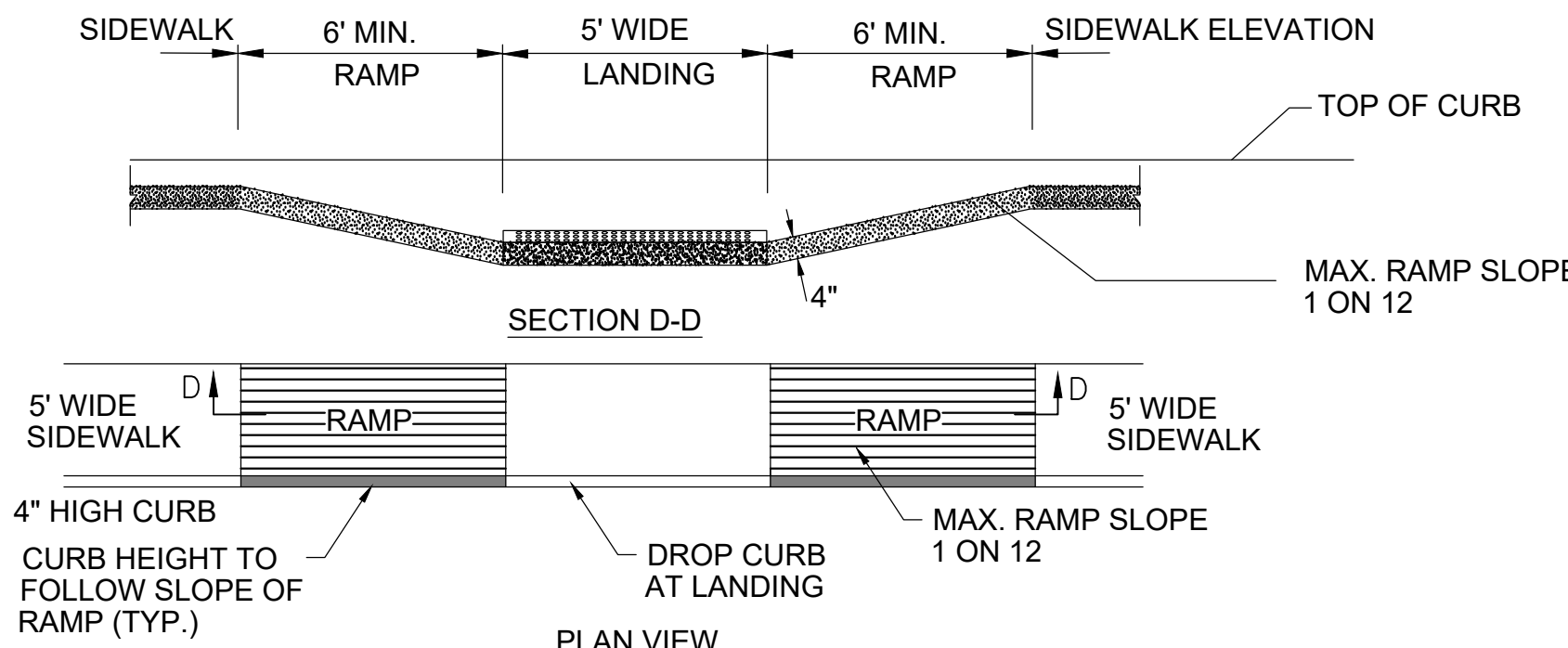


TYP. CHAIN LINK FENCE DETAIL

N.T.S.

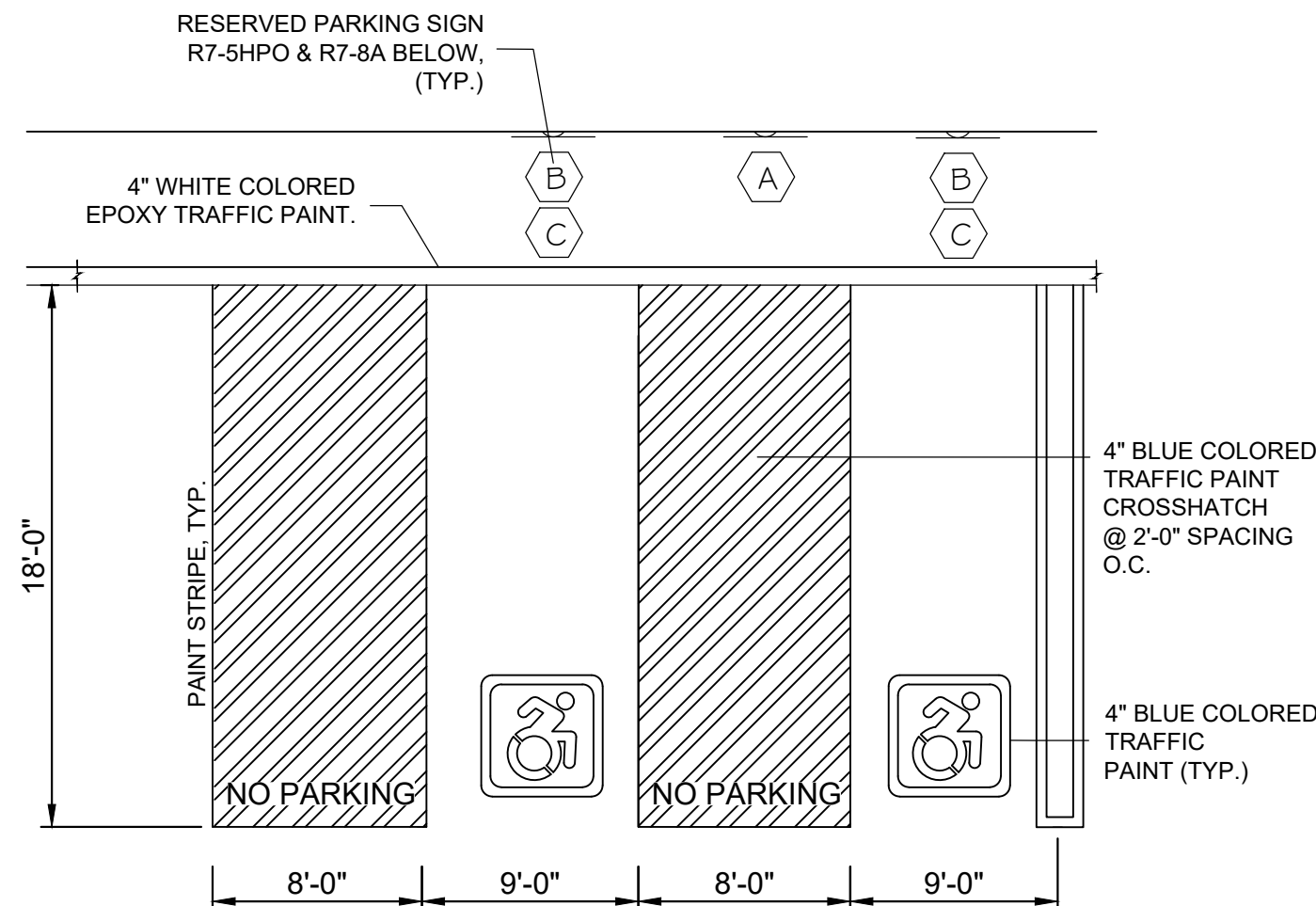
NOTES:

1. NO OPENING SHALL ALLOW A 4 INCH SPHERE TO PASS THROUGH PER THE NYS BUILDING CODE.
2. GATES SHALL BE SELF CLOSING & ALL HARDWARE SHALL COMPLY WITH THE NYS BUILDING CODE.



ADA HANDICAP SIDEWALK RAMP

SCALE: NTS

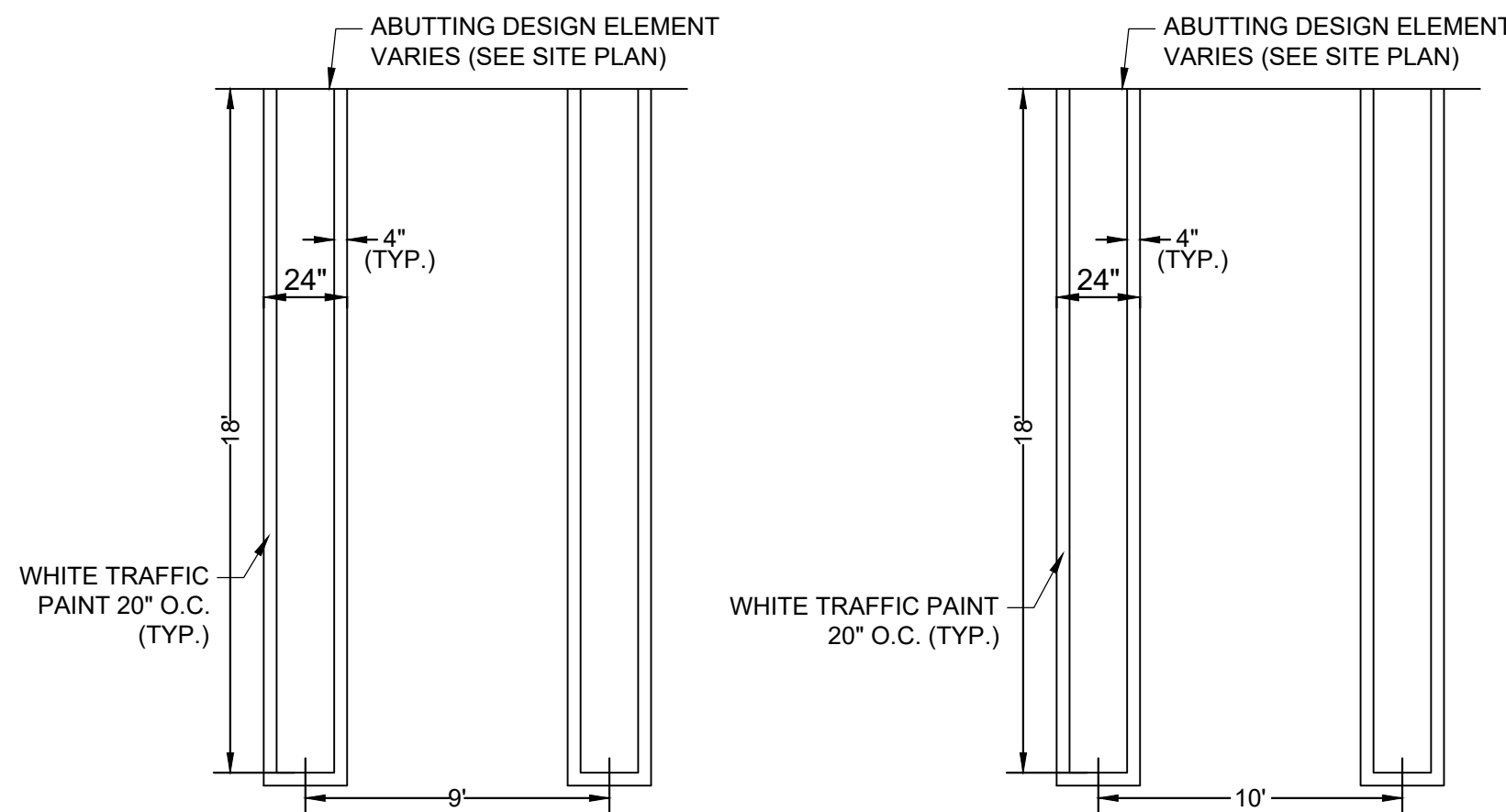


ADA ACCESSIBLE PARKING DETAILS & TYPICAL PARKING SPACE REQUIREMENTS

SCALE: NTS

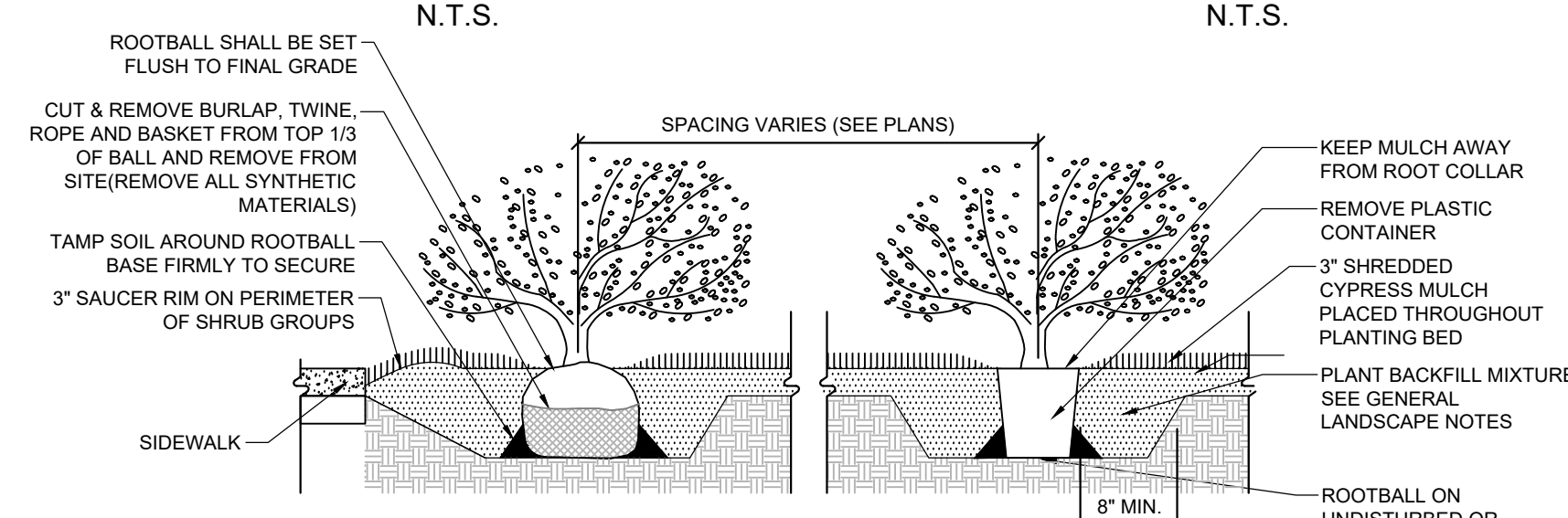
NOTES:

1. ALL MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA MANUAL AND CODE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING WITH BLUE BACKGROUND AND WHITE BORDER.
2. ADA PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ACCESSIBLE ENTRANCES



TYPICAL PARKING SPACE STRIPING

WIDE PARKING SPACE STRIPING



NOTES:

1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
2. TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE. TRUNK FLARE SHALL BE VISIBLE AT TOP OF ROOTBALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
3. IF SHRUB IS IN LEAF APPLY WILT-PROOF, OR EQUAL AS PER MANUFACTURERS RECOMMENDATION.
4. MULCH AREAS TO BE WEEDED AND REPLACED TWICE A YEAR.

SHRUB PLANTING

N.T.S.

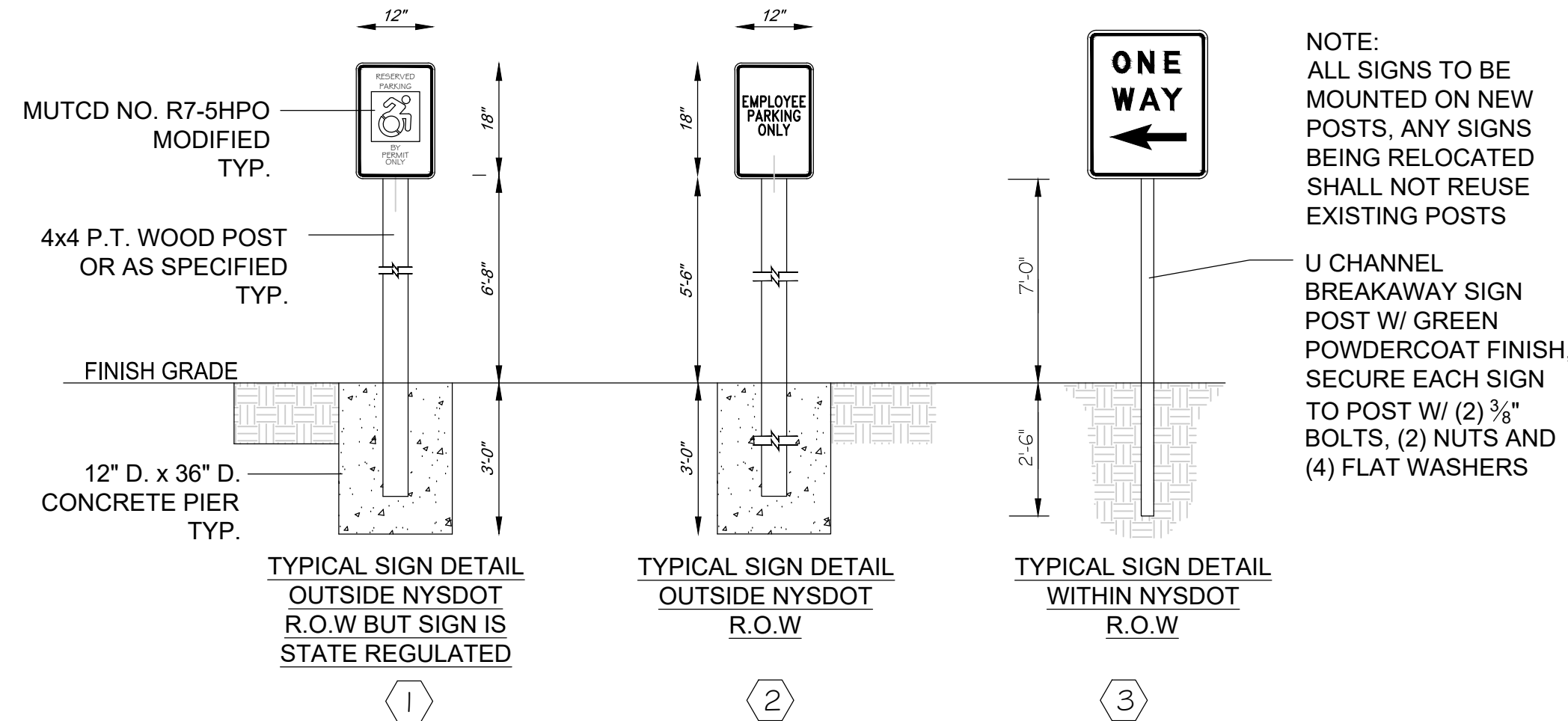
SIGN SYMBOL	SIGN LAYOUT	SIGN DESIGNATION	SIGN COLORS	NEW SIGNS REQUIRED	NEW OR RELOCATED
(A)		R7-1D	RED ON WHITE	2	INSTALL 2 NEW SIGNS (1 WALLMOUNT 1 POSTMOUNT)
(B)		R7-5HPO MODIFIED	WHITE ON BLUE	3	INSTALL 3 NEW SIGNS (1 WALLMOUNT 2 POSTMOUNT)
(C)		R7-8A	GREEN ON WHITE	3	INSTALL 3 NEW SIGNS (1 WALLMOUNT 2 POSTMOUNT)

TYPICAL SIGN DETAILS

SCALE: NTS

NOTES:

1. REFLECTIVITY OF THE ONE WAY SIGNS TO BE IN CONFORMANCE WITH ASTM TYPE III.

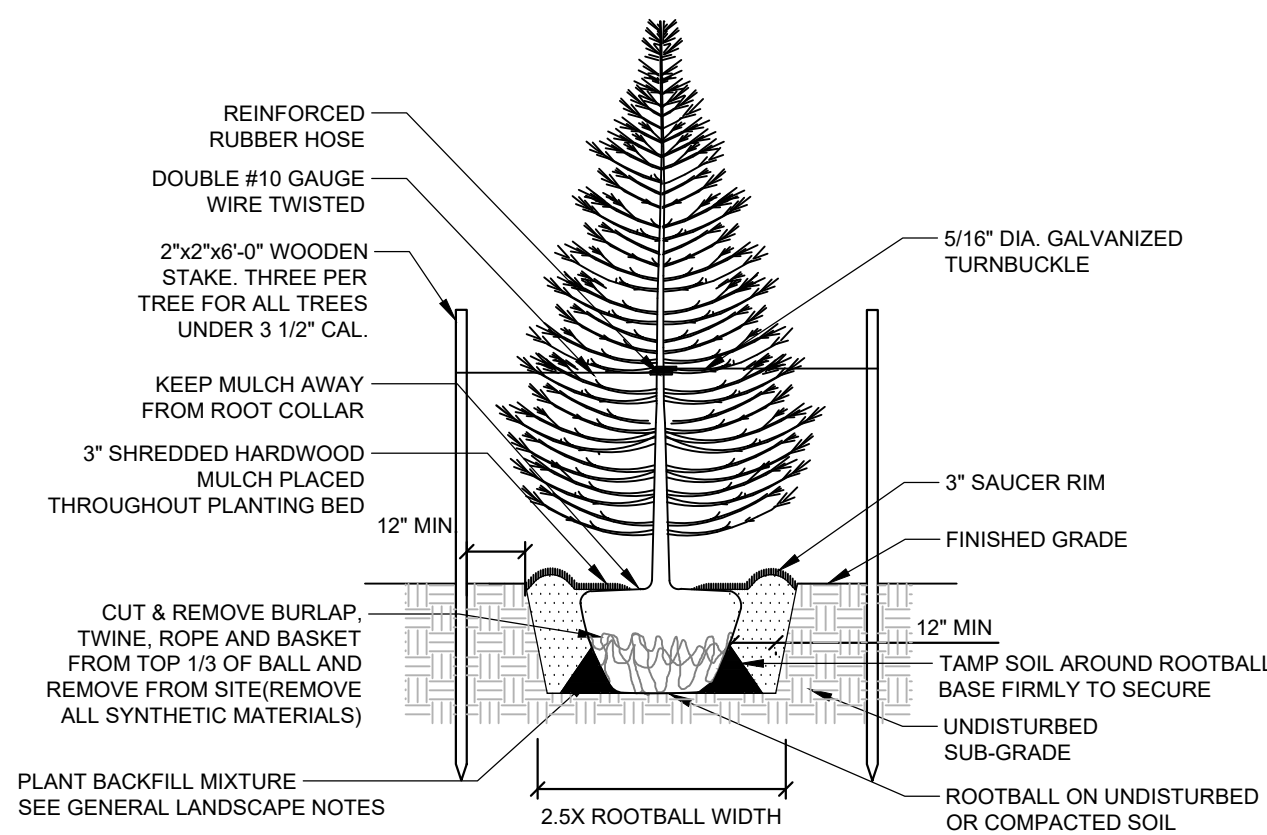


TYPICAL SIGN DETAILS

SCALE: NTS

NOTES:

1. SIGNS SHALL BE M.U.T.C.D NO. R7-1
2. BOTTOM OF SIGN SHALL BE AT LEAST 6'-8" ABOVE PAVEMENT SURFACE.
3. WOOD POSTS TO BE 4x4 MIN. AND PRESSURE TREATED.
4. ADA SIGN SHALL BE M.U.T.C.D. NO. P4-6.



NOTES:

1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
2. TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE. TRUNK FLARE SHALL BE VISIBLE AT TOP OF ROOTBALL. DO NOT COVER TOP OF ROOT BALL WITH SOIL.

EVERGREEN TREE PLANTING

N.T.S.

REVISION	DATE	BY	DESCRIPTION
1	01/24/2024	J.S.	PLANNING BOARD SUBMISSION
2	02/24/2024	J.S.	PLANNING BOARD SUBMISSION
3	03/24/2024	J.S.	PLANNING BOARD SUBMISSION
4	04/24/2024	J.S.	PLANNING BOARD SUBMISSION
5	05/24/2024	J.S.	PLANNING BOARD SUBMISSION
6	06/24/2024	J.S.	PLANNING BOARD SUBMISSION
7	07/24/2024	J.S.	PLANNING BOARD SUBMISSION
8	08/24/2024	J.S.	PLANNING BOARD SUBMISSION
9	09/24/2024	J.S.	PLANNING BOARD SUBMISSION
10	10/24/2024	J.S.	PLANNING BOARD SUBMISSION
11	11/24/2024	J.S.	PLANNING BOARD SUBMISSION
12	12/24/2024	J.S.	PLANNING BOARD SUBMISSION

David Niemotko Architects

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NOTE
FOR AUTHENTICITY
SEAL MUST BE ORIGINAL AND
SIGNATURE MUST
BE IN COLOR - BOTH CANNOT BE
COPIED

NOT FOR
CONSTRUCTION

SHEET TITLE:	CONSTRUCTION DETAILS
PROJECT:	330 STAGE ROAD MIXED USE BUILDING 330 STAGE ROAD MONROE, NY 10950
CLIENT:	VILLAGE OF MONROE, SBL: 213-1-1-30, -32.1, 220-4-1 STAGE DEVELOPMENT LLC 577 FLUSHING AVE #2L BROOKLYN, NY 11206

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	01/24/2024